

**BOARD OF ARCHITECTURAL REVIEW
AGENDA
August 18, 2016 - 4:00 PM
Council Chambers - Rouss City Hall**

1. POINTS OF ORDER

- A. Roll Call
- B. Approval of Minutes – August 4, 2016

2. CONSENT AGENDA

NONE

3. NEW BUSINESS

- A. **BAR 16-480** Request of Vintage Inc. for a Certificate of Appropriateness to replace the roof at 173 N. Loudoun Street.
- B. **BAR 16-483** Request of Vintage Inc. for a Certificate of Appropriateness for exterior changes at 21 S. Washington Street.
- C. **BAR 16-489** Request of Fort Loudoun Properties for a Certificate of Appropriateness to build new garages at 2,4,6,8 Peyton Street.

4. OLD BUSINESS

- A. **BAR 16-461** Request of Shentel for a Certificate of Appropriateness to modify existing telecom equipment at 119 N. Loudoun Street.

5. OTHER DISCUSSION

6. ADJOURN

*****APPLICANT OR REPRESENTATIVE MUST BE PRESENT AT THE
MEETING*****

BOARD OF ARCHITECTURAL REVIEW MINUTES

The Board of Architectural Review held its regularly scheduled meeting on Thursday, August 4, 2016, at 4:00pm in Council Chambers, Rouss City Hall, 15 North Cameron Street, Winchester, Virginia.

POINTS OF ORDER:

PRESENT: Chairman Serafin, Vice Chairman Walker, Ms. Jackson, Mr. Packard, Ms. Schroth

ABSENT: Ms. Elgin, Mr. Rockwood

STAFF: Josh Crump, Jacquelyn Mathes, Erick Moore

VISITORS: Mark McKee

Chairman Serafin called for corrections or additions to the minutes of July 21, 2016. Ms. Jackson made a motion to approve the minutes from July 21, 2016. Vice Chairman Walker seconded the motion. A voice vote was taken and the motion passed 5-0

CONSENT AGENDA:

None

NEW BUSINESS:

BAR 16-461 Request of Shentel for a Certificate of Appropriateness to modify existing telecom equipment at 119 N. Loudoun Street.

Applicant was not present.

*Ms. Jackson made a motion to table **BAR 16-461**. Vice Chairman Walker seconded the motion. A voice vote was taken and the motion passed 5-0*

OLD BUSINESS:

BAR 15-703 Request of Chad Lewis for a Certificate of Appropriateness to install a wrought iron fence at 217 S. Washington Street.

Mark McKee spoke with the Board about the design of the railing. He proposed using a four inch by four inch top plate with a one inch pipe for the "pickets". Both will be powder coated black.

*Mr. Packard made a motion to approve **BAR 15-703** as submitted. Ms. Schroth seconded the motion. A voice vote was taken and the motion passed 5-0.*

OTHER BUSINESS:

The Board members confirmed the upcoming work session date.

The BAR will hold a special Work Session on Thursday, August 11, 2016 from 3pm-5pm in the Rouss City Hall 4th Floor Exhibit Hall for the purpose of discussing the Winchester Historic Guidelines update with the City's consultant, Bill Frazier of Frazier Associates.

ADJOURN:

With no further business before the Board, the meeting was adjourned at 4:12pm



CERTIFICATE #: BAR- 110-480
DATE SUBMITTED: 7-29-2011



Rouss City Hall
15 North Cameron Street
Winchester, VA 22601

Telephone: (540) 667-1815
FAX: (540) 722-3618
TDD: (540) 722-0782
Web: www.winchesterva.gov

APPLICATION
BOARD OF ARCHITECTURAL REVIEW
CERTIFICATE OF APPROPRIATENESS

Please print or type all information:	
<u>540-379-4438</u> Telephone	<u>Vintage Inc. David Logan</u> Applicant
<u>vintage building@gmail.com</u> E-mail address	<u>600 North Loudoun St</u> Street Address
	<u>Winchester Va 22601</u> City / State / Zip

<u>Robert J. Pullen</u> Property Owner's Signature	<u>Foxmeadow Loudoun Family LP</u> Property Owner (Name as appears in Land Records)
<u>540-974-2319</u> Telephone	<u>173 N Loudoun St</u> Street Address
<u>RPullen904@aol.com</u> E-mail address	<u>Winchester VA 22601</u> City / State / Zip

PROPERTY LOCATION

Current Street Address(es) 173 North Loudoun Street Use: Storefront
Zoning: B1 (HW) Year Constructed: 1900 Historic Plaque? ☐ Y ☒ N Number: _____

TYPE OF REQUEST

<input type="checkbox"/> Demolition	<input type="checkbox"/> Sign (specify type) and # _____	<input type="checkbox"/> Exterior Change
<input type="checkbox"/> New Construction	<input type="checkbox"/> Freestanding	<input type="checkbox"/> Siding
<input type="checkbox"/> Addition	<input type="checkbox"/> Wall	<input checked="" type="checkbox"/> Roofing
<input type="checkbox"/> Fence/Wall	<input type="checkbox"/> Projecting	<input type="checkbox"/> Windows/Doors
<input type="checkbox"/> CONCEPTUAL REVIEW ONLY	<input type="checkbox"/> Other sign (specify)	<input type="checkbox"/> Paint
<input checked="" type="checkbox"/> Other (specify) Repair, no visual change.		

SEE REVERSE FOR MATERIALS TO INCLUDE WITH APPLICATION

FOR OFFICE USE ONLY

☐ BAR Review OR ☐ Administrative Review per Section 14-5

Hearing Date(s) _____

CERTIFICATE OF APPROPRIATENESS: ☐ APPROVED ☐ DISAPPROVED ☐ TABLED ☐ WITHDRAWN

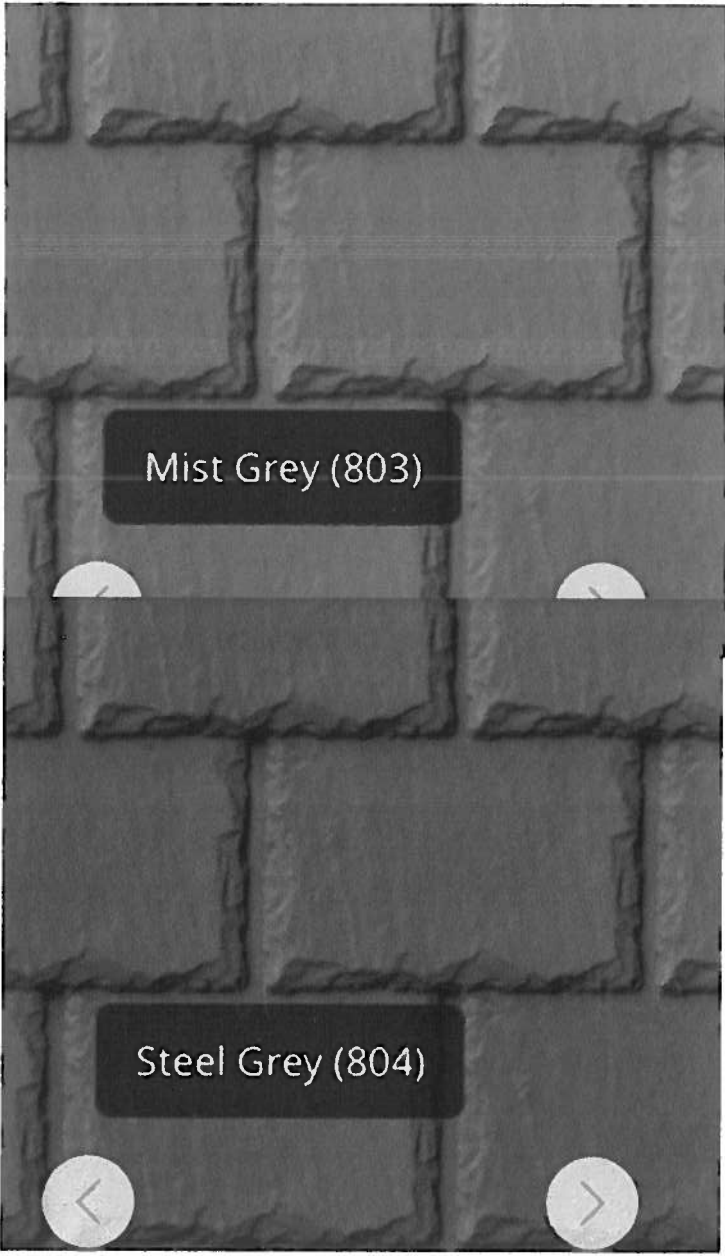
CONDITIONS NOTED: _____

SIGNATURE: _____ DATE: _____

Secretary, Board of Architectural Review

Aledora slate colors chosen:

We are using 62.5% Steel Grey 804,
37.5% Mist Grey 803.



Mist Grey (803)

Steel Grey (804)

October 2015

Inspire Aledora Slate Application Guidelines

Only Basic Roofing Tools Required

- Hand fastened or fastened with a pneumatic nail gun
- Utility knife or a standard circular saw
- Tape measure, pry bar, tin snips
- Chalk line with blue chalk (do not use red chalk)

Product Specifications *Number of pieces based on 8" exposure.*

Aledora Slate	Starter Piece	Hip and Ridge
<p>Center Spacer Exposure Lines 18" height Height: 18" Widths: 6", 8", 10", 12"</p>	<p>Height: 14" Width: 12"</p>	<p>Width: 18"-Height: 6" Exposure: 6" - 8" Pre-formed Pitch: 3/12 - 18/12</p>

V-Series, 6", 8", 10", 12" Widths

	Bundle	Square	Pallet	Truck
lbs	28.5	171	1368	38304
pieces	32	192	1536	43008
bundles	—	6	48	1344
squares	—	—	8	224
pallets	—	—	—	28

S-Series, 12" Width ONLY

	Bundle	Square	Pallet	Truck
lbs	30	180	1440	42000
pieces	24	144	1152	33600
bundles	—	6	48	1344
squares	—	—	8	224
pallets	—	—	—	28

Accessory Items	
Original Snow Guard	100 per box
1½" Stainless Steel Ring Shank Coil Nails	7,200 pcs. per box
1½" Stainless Steel Ring Shank Hand Nails	3,475 pcs. per 25 lb box
Roofing Underlayment	TU35 (2 square coverage roll)

Inspire Slate Hip & Ridge	
Lbs. per piece	1.25
Lbs. per bundle	30
Pieces per bundle	24
Tiles per lineal foot	1.5
Lineal feet per bundle	16

Inspire Starter	
Lbs. per piece	1.7
Lbs. per bundle	41
Pieces per bundle	24
Tiles per lineal foot	1
Lineal feet per bundle	25

Exposure Requirements	
Roof Slope	Inspire Exposure
5:12 and above	max 8"
3:12-5:12	max 6"

Product Ratings and Certifications	
Hail Rating – UL2218 Class IV	
Fire Rating – Class A or Class C	

Getting Started

Preparation:

- Under all circumstances, existing roofing materials must be removed down to the substrate, prior to installation.
- The surface area must be uniformly flat, smooth, sound, clean and free of irregularities.
- Examine roof sheathing to verify that sheathing joints are supported by framing and blocking and/or metal clips.
- Verify that substrate is sloped for drainage and completely anchored to sound framing. Any foreign particles shall be cleaned from interlocking areas to ensure proper seating and to prevent moisture intrusion and ice damming. Proper provisions must be made for flashings and roof penetrations.
- Even though metal flashing and other specialty flashings may not be the responsibility of the roofing contractor, these items must be in place prior to slate installation. Work by other trades which penetrate the roof plane must be completed.

Storing the Product: For proper installation, the slates need to be stored on the original pallet, on a flat surface. Proper storage of the product at the jobsite is important. Inspire slate should not be stored on roof decks in such a manner as to over-stress and/or damage the deck and supporting structure. The slates are cambered to ensure that maximum pressure is transferred to the leading edge of the slate during installation.

Do not double stack pallets.

Work Conditions: Perform work when existing and forecasted weather permits. Work should be performed in a safe, professional manner and ambient weather conditions are within the limits listed below. Be sure to follow the manufacturer's installation requirements for all underlayment and any other applications. Comply with any and all local building code requirements. Note of Caution: The slates can be slippery under certain conditions and jobsite safety procedures should be enforced.

Cold Weather Installation: Slates should be stored in original packaging in a storage facility where the temperature meets or exceeds 45°F. Use protective coverage over all pallets while being temporarily stored on-site. Roof slates must be conditioned at a temperature no lower than 45°F for twenty-four (24) hours prior to use. Slates may be installed at temperatures as low as 20°F hand fastened, or with a pneumatic gun.

Recommended Materials:

- The choice of metals and fasteners should be consistent in material
- Building materials must last the lifetime of the roofing tiles
- Inspire Roofing Products does not warranty components of the roof system not manufactured by Inspire
- If spaced sheathing is used in Aledora Slate application the sheathing must be nominal 1" x 6" boards spaced on centers equal to the exposure at which the slates are to be installed.

Ring Shank Nail Fasteners (Note: Stainless steel ring shank nails are required in coastal regions.)			
	Head Ø	Length	Material
Tile	3/8"	1 ½"	Stainless steel, hot dipped galvanized or copper
Vented Ridge	3/8"	3"	Stainless steel, hot dipped galvanized or copper

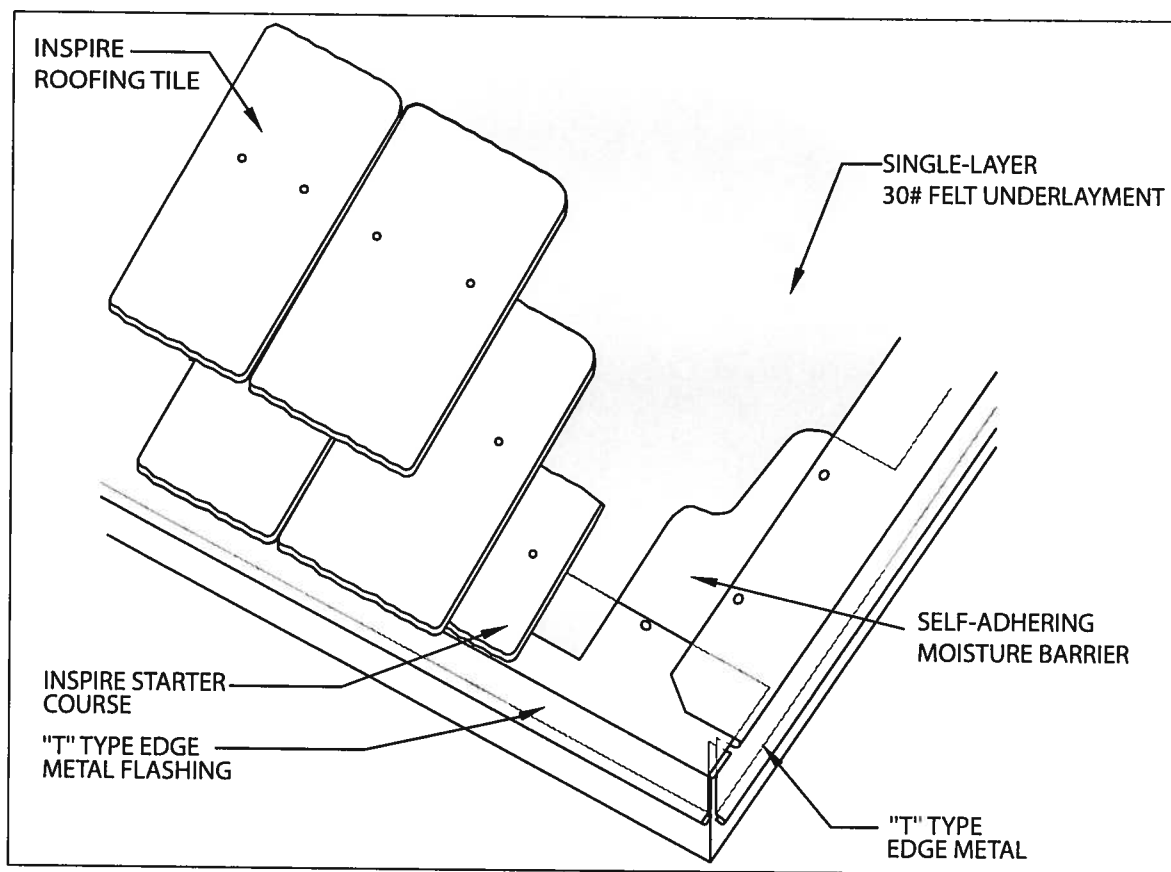
Acceptable Sheathing	
Roofing Decking Materials	Thickness
Plywood	Minimum of 15/32"
Solid Wood	Minimum of 15/16"
Oriented Strand Board (OSB)	Minimum of 7/16"

Metal Recommendations	
Material	Minimum Requirement
Copper	16 oz
Aluminum	.030
Steel	26 gauge

Installation

Underlayment: Underlayment is an extra layer of protection on your roof, required by most building codes.

- **Self-Adhering Ice and Water Barrier** – In areas where the average winter temperature drops below 25° F a self-adhering ice and water barrier should be installed. At eaves the barrier should extend 2' beyond the interior wall and 3' for all sidewalls, headwalls, valleys, rakes and roof penetrations. Be sure to follow underlayment manufacturer installation recommendations and observe your local building codes.
- **Install the felt underlayment** on all parts of the roof deck not covered by the self-adhering ice and water barrier. Lap edges of felt over self-adhering ice and water barrier no less than 3" in direction to shed water. Lap ends of felt no less than 6" over self-adhering ice and water barrier. Felt underlayment should not be placed under the self-adhering ice and water barrier and should overlap a minimum of 3". Side laps should be no less than 6".
- **Class C Fire Rating** – Single-layer ASTM D-226 30# Felt Underlayment or equivalent: Felt should be preserved unbroken, tight and whole. Install perpendicular to roof slope in parallel courses. Lap sides of successive courses a minimum of 3" over each underlying course. Lap ends a minimum of 6".
- **Class A Fire Rating- One Layer MB Technologies Layfast TU 35 underlayment** to cover the entire roof deck. TU 35 should be installed following the manufacturer's instructions. Additional peel and stick underlayment should be applied according to your local building codes prior to installing the TU 35. Please note that all other materials have their own manufacturer's instructions which must be followed.

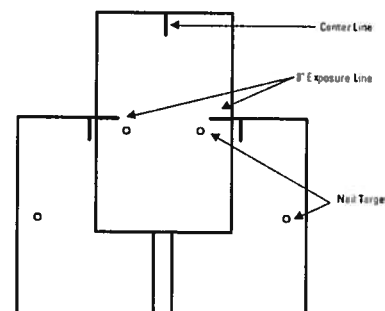


Fasteners:

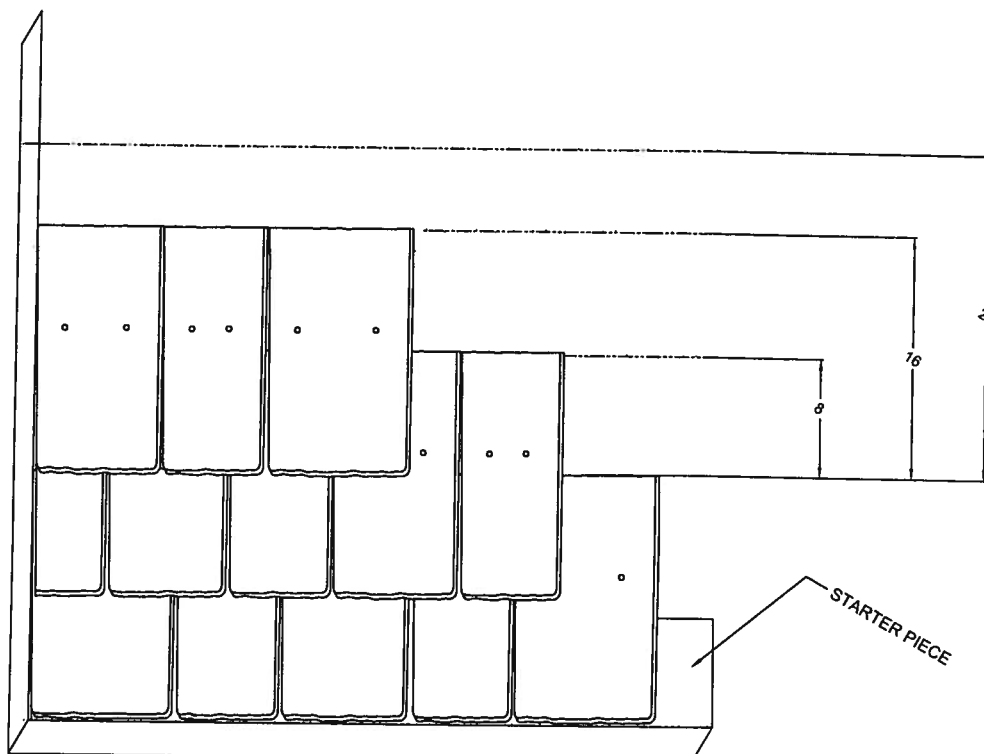
- Use only corrosion resistant ring shank nails.
- Caution should always be used to prevent over/under penetration of the fastener.
- Two fasteners must be placed in the proper nail target areas on each tile. Improper fastening can compromise the roof system and voids the manufacturer warranty.
- Fastener must penetrate roof decking at least 3/4".

Starter and First Course:

- Starter tiles should hang past the drip edge a minimum of 1/2" and no more than 1-1/2" and should be fastened in the target areas.
- The gap between starter tiles should be approximately 3/8" – 1/2".
- Use 3/8"-1/2" spacing between slate tiles. Use the Center Line on the tile as a proper guide. The first course of slate should be installed even with the butt edge of the starter course.
- The joints between the starter and first course and all succeeding courses should be a minimum of 2". This ensures that nails are covered by the next course and no through joints from roof surface to underlayment are exposed.

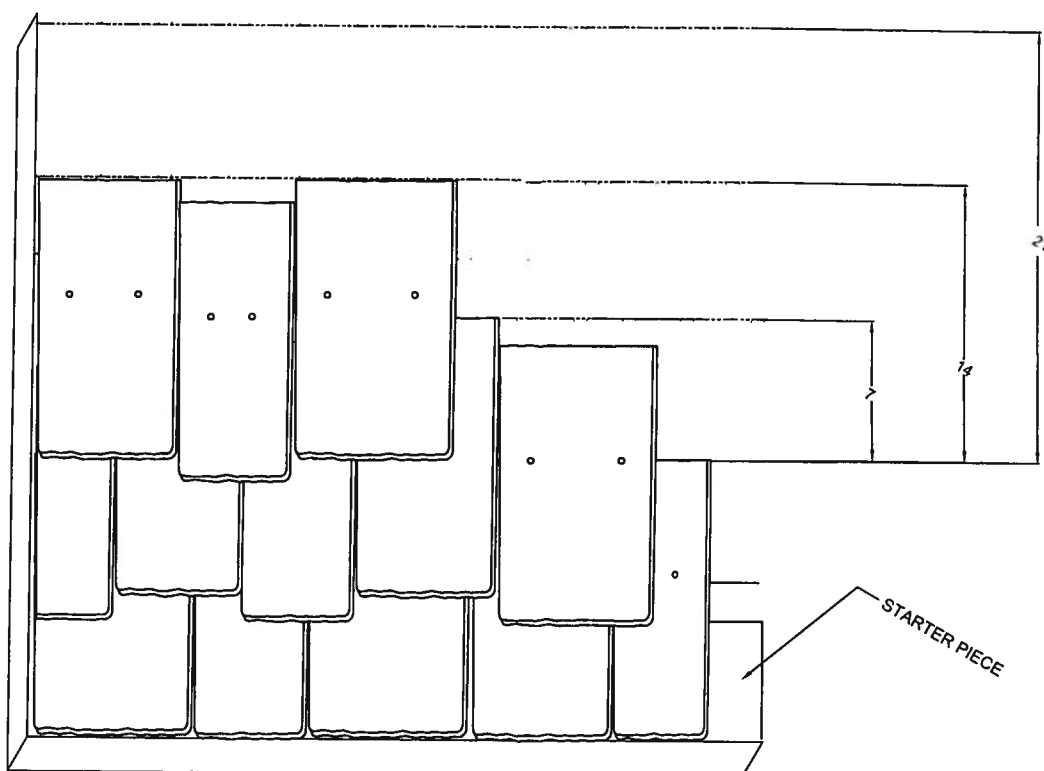

Straight Courses:

- Strike horizontal chalk lines at the desired exposure level, to ensure that the slates are installed straight and uniform. 8" is the maximum exposure when installing straight courses for roof pitches 5/12 and above.
- 8", 7.5", 7", 6.5" and 6" exposure marks are provided on each tile. These are used by placing the mark on the top of the tile of the proceeding course.



Staggered Courses:

- The first course should be installed directly over the starter course. The first Chalk line should be 7" from the top of the first course.
- The top of the first slate should be placed on the chalk line. The next slate should be placed 1" below the chalk line.
- 7" is the maximum exposure when installing staggered courses for roof pitches 5/12 and above.
- 6" is the maximum exposure for roof pitches between 3/12 thru 5/12.

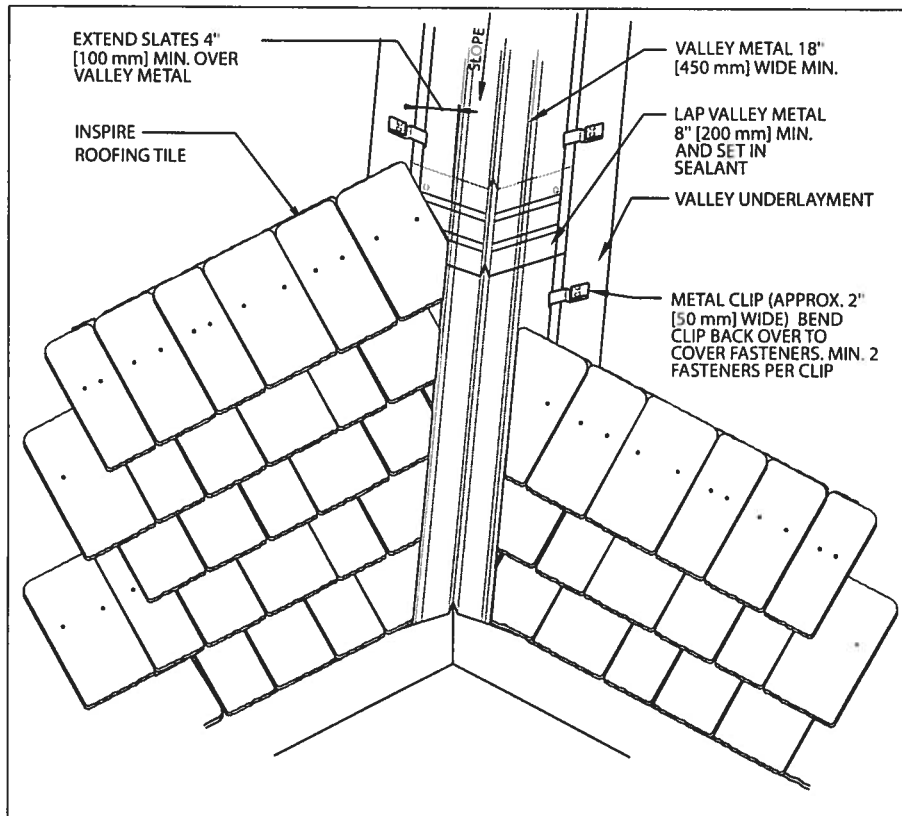
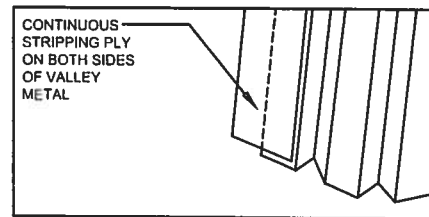
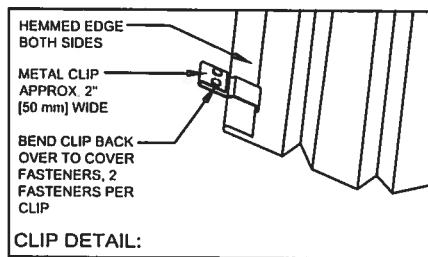


Valleys: A valley is created at the downslope intersection of two roof planes.

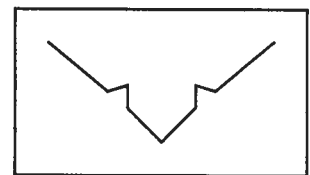
- Install a full 36" piece of ice and water shield centered through the entire valley.
- Fasten the valley every 2' using metal cleats.
- Slates must cover valley flashing by a minimum of 4", make sure not to drive fasteners from slates into the valley flashing.
- An open or closed valley may be used

Open Valley Design: Open is good for snow, ice and debris.

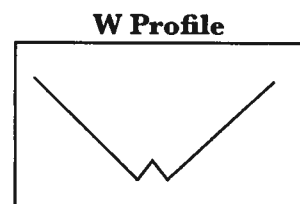
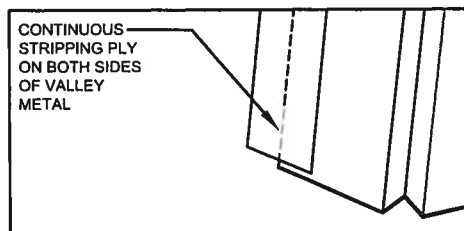
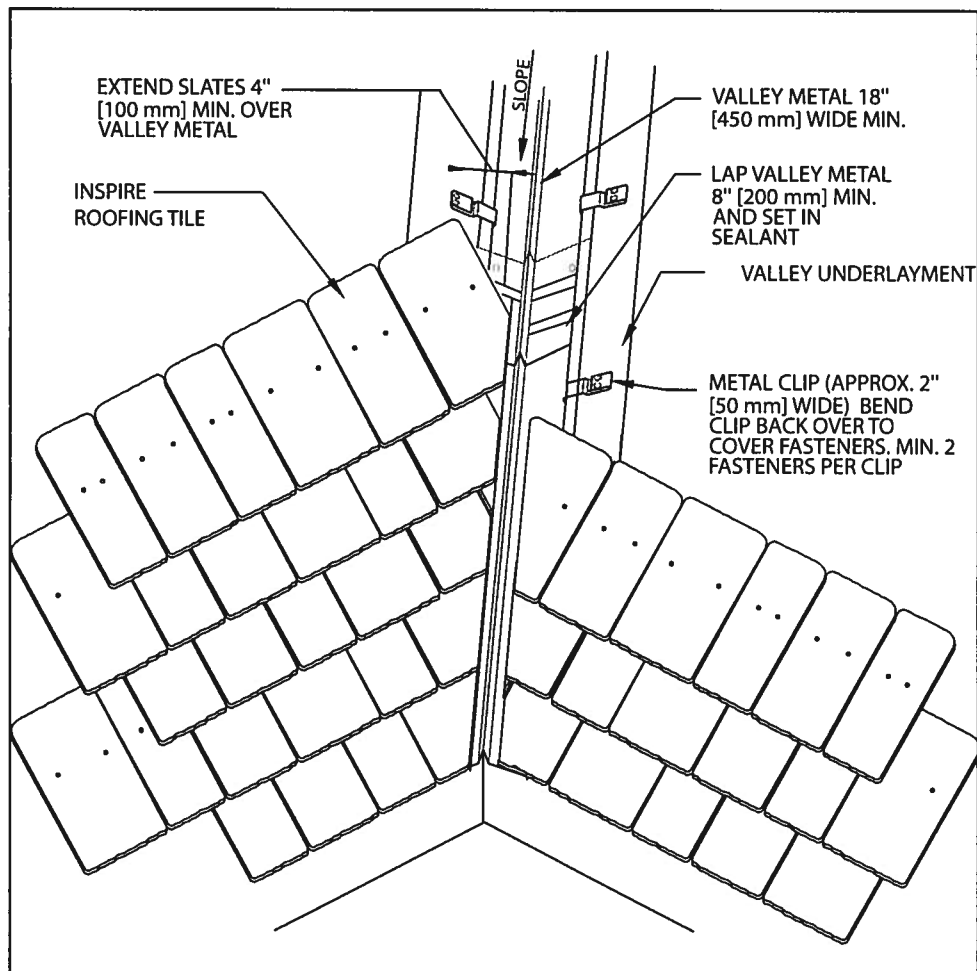
For an Open Valley Design a double "W" Valley is recommended to avoid seeing the structural ribbing.



Double W Profile

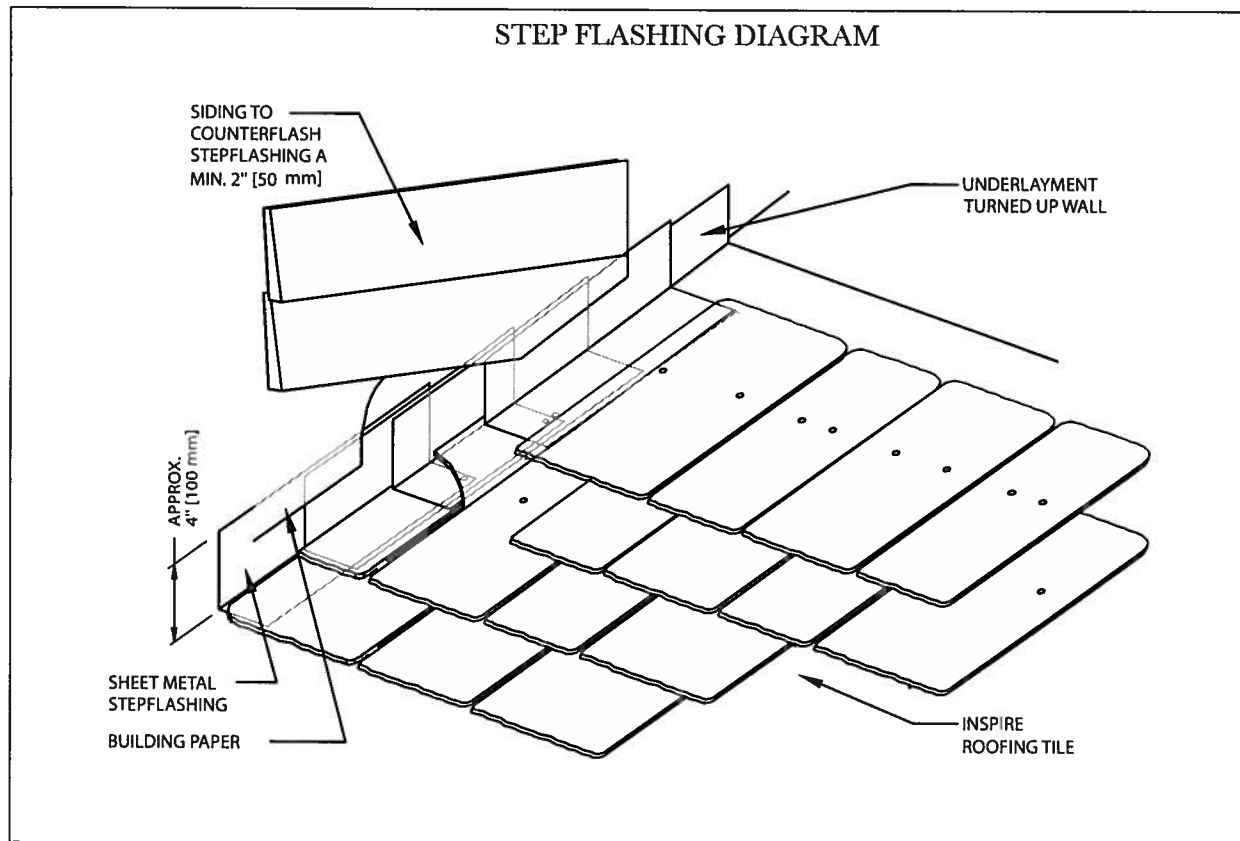


Closed Valley Design: For a Closed Valley, a Single Diverter “W” Valley or Standing I Seam valley should be used. Slates should be butted next to the diverter.

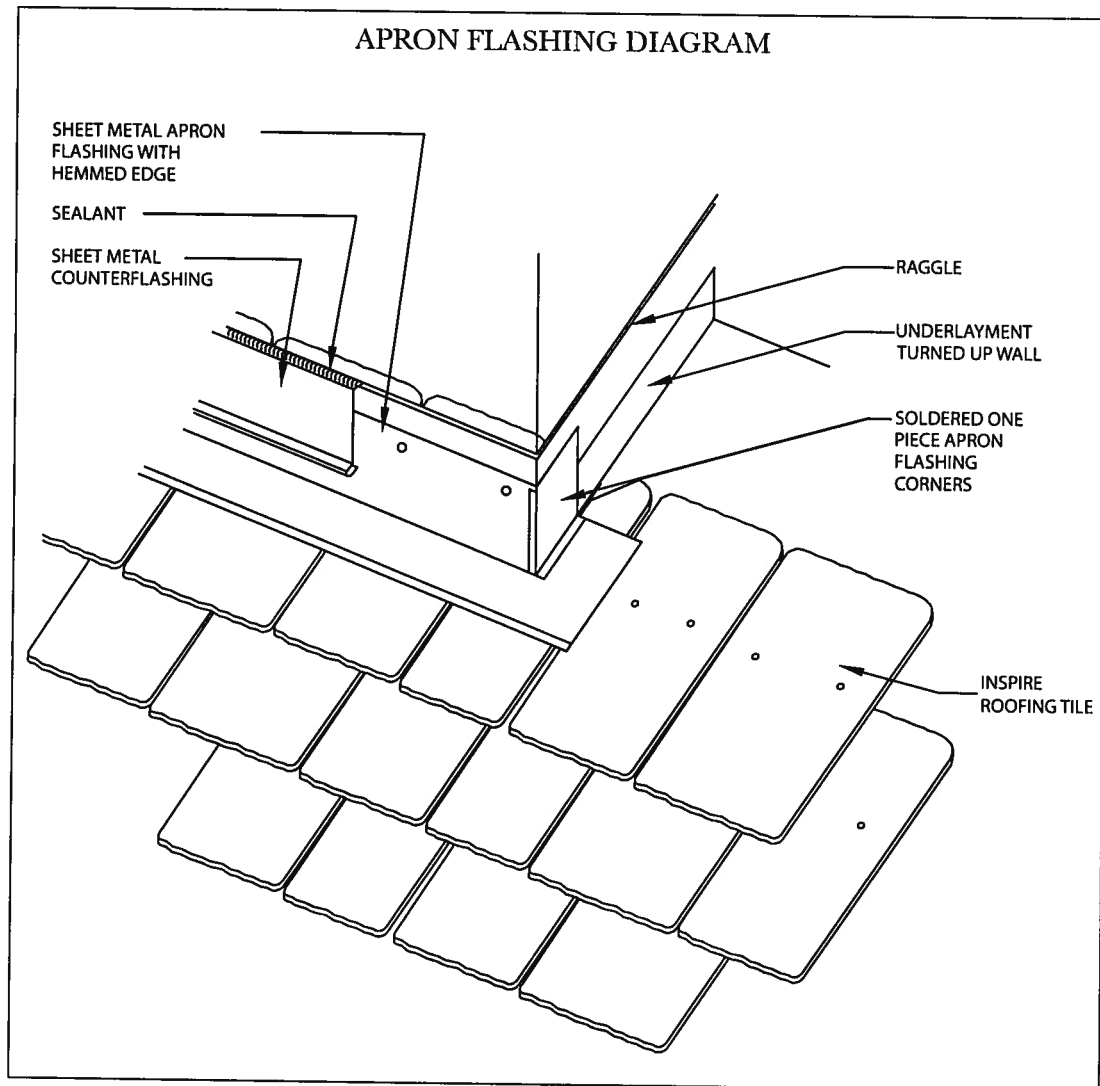


Flashings: Flashings should be used around all roof penetrations, such as walls, chimneys, dormers, vent pipes, or skylights.

Step Flashings: When a pitched roof comes into contact with a vertical wall, individual pieces of metal flashing should be installed at the end of each slate to prevent water intrusion. Step flashings should extend under the uppermost row of the roof slate, at least 4" over the slate immediately below the metal. The vertical leg of the metal should be turned up a minimum of 4" and extend 4" on the slate with an optional 3/4" hem. Flashings should have a minimum length of 12" and must overlap a minimum of 2".

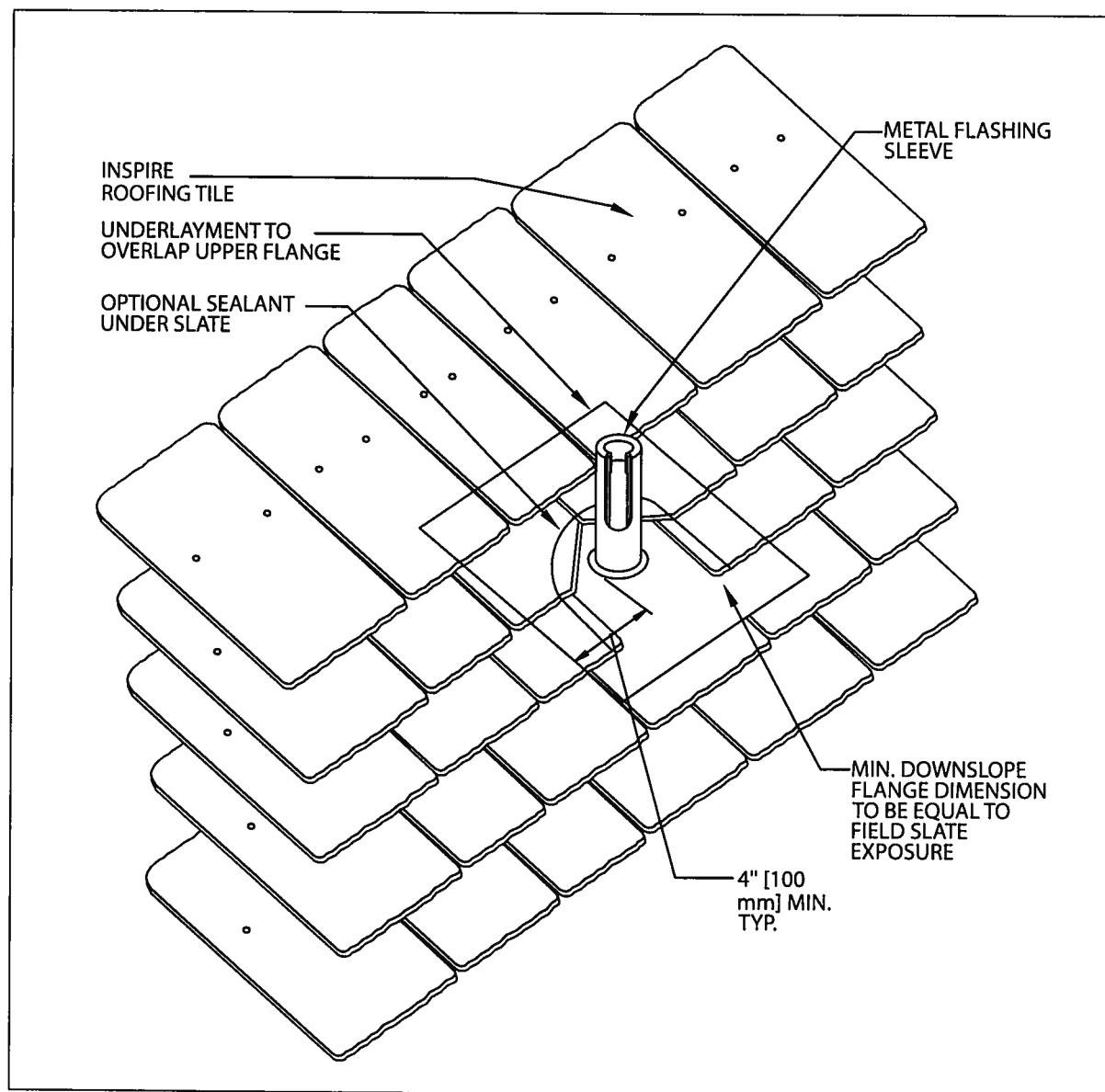


Apron (Roof to Wall) Flashing: Apron flashing is used when a roof terminates to a wall causing a course to be cut and face nailed. It is installed over the slates and behind siding or counter/cap flashing.



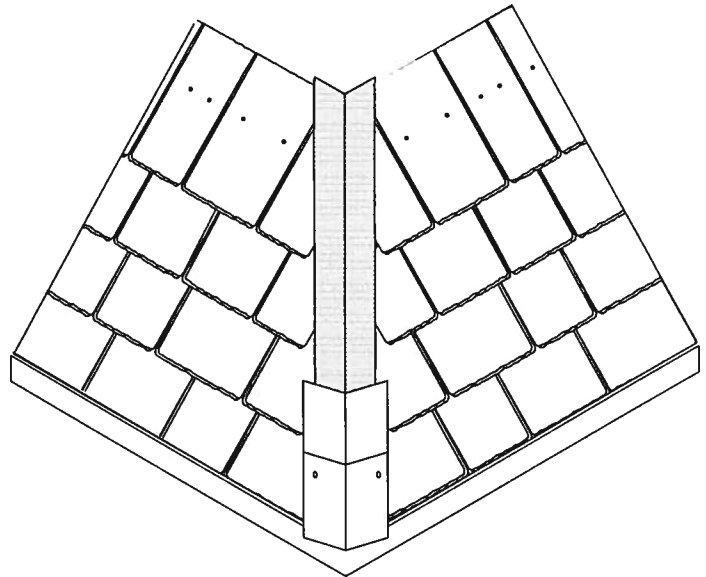
Vent, Pipe & Other Penetrations: Penetrations through the roof deck require a flat flange around the penetration. The flashing should be placed above the penetration and on top of the slate and below the penetration.

SOIL STACK DIAGRAM



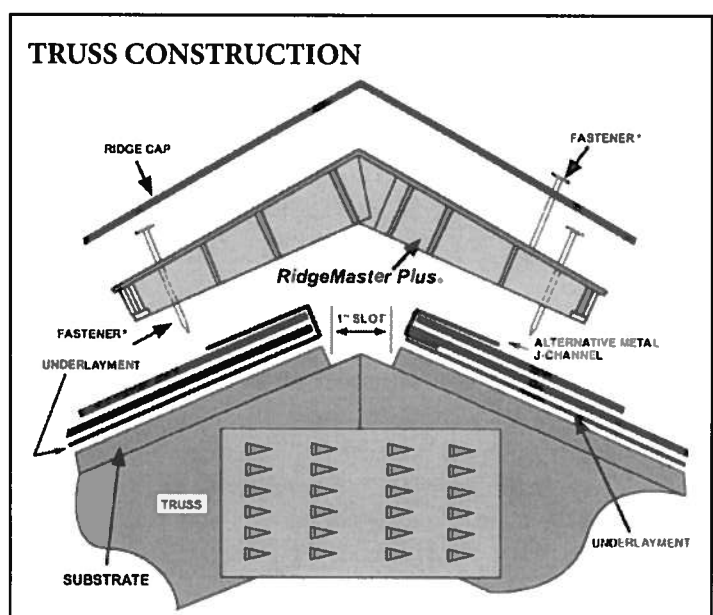
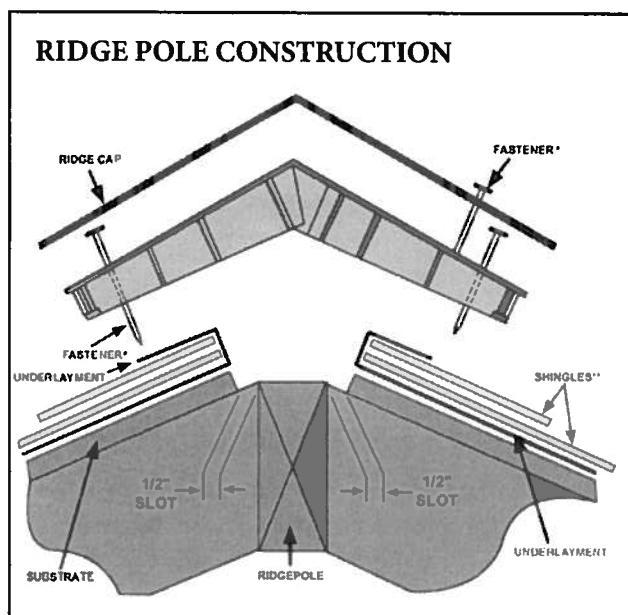
Hip and Ridge Detail:

- When pre-formed hip & ridge slates are used, nail in designated target area. Fasten hip slates with 2 fasteners (one on each side).
- Use a max exposure of 8".
- Chalk a straight line by placing one piece of hip at the eave and one near the peak, hold the chalk line at the edge of the slate on the top and bottom pieces. This will help keep the hip straight in the event of a crooked hip.
- Cover exposed heads of fasteners with an adhesive sealant compatible with the shake.
- Preformed hip and ridge slate require 3" length fasteners.
- Fastener must penetrate deck a minimum of 3/4".



Ridge Vent: During winter months ventilation is a key factor to remove moisture from the attic. Warm moist air inside a building travels up toward the attic. Problems occur when water vapor comes in contact with cold building materials and condenses. The structural elements of the attic will absorb moisture and over time may lead to rotting wood and/or mold. For balanced ventilation system split between the ridge and soffit, 1 square foot of net free area is required for every 300 square feet of attic floor space. It is required to have 1 square foot of ventilation for every 150 square feet of attic floor space if this balance cannot be achieved. Ventilation is necessary for extended life of the roof system. Inspire Roofing Products will not warranty an un-vented roof and/or improperly vented roof system.

Below are diagrams of Roof Truss and Ridge Pole construction applications. We recommend using RidgeMaster Plus with 3" roofing nails.





City of Winchester

173-177 North Loudoun Street

Tax Map Number: 173-1-F- 15-

DHR Resource Number: 138-0042-0722

Resources: 1 commercial building; 1 metal sign

Date/Period: ca. 1870/ca. 1895

Style: Italianate (altered)

Sources: Sanborn Fire Insurance Company Maps



Architectural Description

Site Description: This three-story commercial building is located on the west side of the North Loudoun Street and abuts the concrete and brick pedestrian mall. The building is adjacent to 167 and 179-181 North Loudoun Street. An asphalt-paved parking lot is located west of the building. Indian Alley forms the western boundary of the property.

Secondary Resource Summary: A sign is located in the northwest corner of the property.

Primary Resource Description: Constructed ca. 1870, this three-story commercial building was originally two stories in height and has a side-gabled roof. Sanborn maps and brick ghosting on the north (side) elevation indicate that a third story was added ca. 1895. Set on a solid foundation (material not visible), this brick structure has seven-course, American-bond brick coursing. Now capped by a sloped roof, the building features a prominent corbeled brick cornice with dentils. Interior-side brick chimneys extend from the north (side) elevation. It appears that these chimney stacks have been extended and were part of the original structure.

The façade (east elevation) has a soft storefront bay composed of fixed sash set in a metal frame. Double-leaf, metal-frame glass doors provide access to the building. A large, full-width pent roof of asbestos shingles has been introduced above the first story. A large wood sign with molded edges is located above. The upper story has four large window openings obscured by louvered wood shutters. Segmental brick arches combine with brick lintel strings to complete the openings. Based on their location, these openings are non-functional. The north and south (side) elevation have no openings.

The rear of the building has a large, full-width addition constructed circa 1925. The brick addition has six-course, American-bond brick coursing and a shed roof. An exterior-side brick chimney extends from the north (side) elevation. A single-leaf, metal-frame glass door is located in a below-grade door opening on the west (rear) elevation. Two openings for a conveyor belt located on the rear of the addition have been covered with plywood. A tall shed-roof porch shelters the rear of the addition. Its standing-seam metal roof is supported by four metal poles.

Secondary Resources Description: A metal sign, constructed ca. 1990, is located northwest of the building. Approximately ten-feet in height, this sign is supported by a metal post.

Significance Statement: This commercial building, constructed circa 1870, was originally two stories high but was enlarged by the addition of a third story circa 1895. As a late-nineteenth-century building, it has integrity of design, materials, and workmanship. A mid-twentieth-century storefront and oversized pent roof diminish the building's integrity of feeling and association, yet this is a typical alterations for commercial buildings on Loudoun Street. Located on the North Loudoun Street pedestrian mall, the building maintains integrity of location and setting. All of these aspects result in the circa 1895 commercial building being considered a contributing resource to the Winchester Historic District under Criteria A and C.

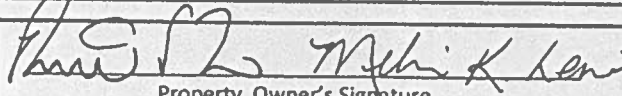


Rouss City Hall
15 North Cameron Street
Winchester, VA 22601

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TDD: (540) 722-0782
Web: www.winchesterva.gov

APPLICATION
BOARD OF ARCHITECTURAL REVIEW
CERTIFICATE OF APPROPRIATENESS

Please print or type all information:	Richard F & Melanie K Lewis, trustees
540.665.9404	Applicant
Telephone	309 West Clifford Street
melanieklewis@verizon.net	Street Address
E-mail address	Winchester VA 22601
	City / State / Zip

 Property Owner's Signature	Melanie K Lewis Trust
540.327.5153 or 540.327.5183	Property Owner (Name as appears in Land Records)
Telephone	309 West Clifford Street
melanieklewis@verizon.net	Street Address
E-mail address	Winchester VA 22601
	City / State / Zip

PROPERTY LOCATION
Current Street Address(es) 21 South Washington Street Use: single family home
Zoning: _____ (HW) Year Constructed: 1896 Historic Plaque? Y ☐ N ☒ Number: _____

TYPE OF REQUEST

<input type="checkbox"/> Demolition	<input type="checkbox"/> Sign (specify type) and # _____	<input checked="" type="checkbox"/> Exterior Change
<input type="checkbox"/> New Construction	<input type="checkbox"/> Freestanding	<input type="checkbox"/> Siding
<input type="checkbox"/> Addition	<input type="checkbox"/> Wall	<input checked="" type="checkbox"/> Roofing
<input type="checkbox"/> Fence/Wall	<input type="checkbox"/> Projecting	<input checked="" type="checkbox"/> Windows/Doors
<input type="checkbox"/> CONCEPTUAL REVIEW ONLY	<input type="checkbox"/> Other sign (specify)	<input type="checkbox"/> Paint
<input type="checkbox"/> Other (specify)		

SEE REVERSE FOR MATERIALS TO INCLUDE WITH APPLICATION

FOR OFFICE USE ONLY

☐ BAR Review OR ☐ Administrative Review per Section 14-5

Hearing Date(s) _____

CERTIFICATE OF APPROPRIATENESS: ☐ APPROVED ☐ DISAPPROVED ☐ TABLED ☐ WITHDRAWN

CONDITIONS NOTED: _____

SIGNATURE: _____ DATE: _____

Secretary, Board of Architectural Review

Monday, August 1, 2016
Vintage, Inc.
David Logan
600 North Loudoun Street
Winchester, VA 22601

Board of Architectural Review

Re: restoration at 21 South Washington Street

To whom it may concern,

We are restoring the home located at 21 South Washington Street, and wanted to outline our approach for approval.

We are making one change: We are restoring the asphalt porch roofing, which was failing, back to the original copper and slate. We are using Buckingham slate, which I enclose technical specs.


The other exterior work that we are doing is maintenance. We are:

1. Restoring the windows, which included stripping, glazing, and painting.
2. Restoring the main slate roof.
3. Installing new gutters. The existing gutters are white painted galvanized 1/2 round; the replacement will be white aluminum half round.
4. Repointing the masonry.
5. Pointing and repairing the four chimney stems.
6. Repointing the windows into the frames using a burnt sand mastic.

Thank you very much,

Sincerely,

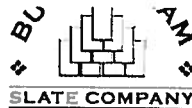
David Logan





SLATE ROOF SPECIFICATIONS

Proper installation guarantees a lasting product.



SLATE

(A) Slate shall be Genuine Unfading BUCKINGHAM® VIRGINIA SLATE as furnished by the Buckingham-Virginia Slate Corporation, 1 main street, P. O. Box 8, Arvon, Virginia 23004-008, of the following sizes and thicknesses:

(B) All slate shall be hard, dense, sound rock, punched for two nails each. No cracked slate shall be used. All exposed corners shall be practically full. No broken corners on covered end which sacrifice nailing strength or the laying of a water-tight roof will be allowed.

SLATING

The entire surface of all roofs, unless otherwise specified, and all other surfaces so indicated on all drawings, shall be covered with slate as herein specified, in a proper and watertight manner.

(B) the slate shall project 2" at the eaves and from 1/2" to zonal courses with 3" headlap, and each course shall break joints with the preceding one by at least 3". Slates at the eaves or cornice line shall double using same thickness slate for under-eaves at first exposed course. Under eave slate to be approximately 3" longer than exposure of first course.

(C) Wood cant strip at eaves to be furnished by others

(D) Slates overlapping sheet metal work shall have the nails so placed as to avoid puncturing the sheet metal. Exposed nails shall be permissible only in top courses where unavoidable.

(E) Neatly fit slate around all pipes, ventilators, and other vertical surfaces.

(F) Nails shall not be driven so far as to produce strain on the slate.

(G) cover all exposed nail heads with elastic cement. Hip slates and ridge slates shall be laid in elastic cement spread thickly over unexposed surface of under courses of slate, nailed securely in place and carefully pointed with elastic cement.

(H) Build in and place all flashing pieces, snow-guards, etc., furnished by the sheet metal contractor and cooperate with him in doing the work of flashing. (If roofing contractor has the flashing and sheet metal work under his contract, change this paragraph to suit.)

(I) Upon completion, all slate must be sound, whole, clean, and the roof shall be left watertight and neat in every respect, and subject to the architect's approval.

ROOFING FELT

(A) On all surfaces to be covered with slate, furnish and lay genuine asphalt saturated rag felt of an approved equal, not less in weight than that commercially known as "30 pound" felt or equal.

(B) Felt shall be laid in horizontal layers with joints lapped towards the eaves at least 2", and well secured along laps and at ends necessary to properly hold the felt in place and protect the structure until covered with the slate. All felt shall be preserved unbroken, tight, and whole.

(C) Felt shall lap all hips and ridges at least 12" to form double thickness and shall be lapped 2" over the metal of valleys or built-in gutters.

NAILS

(A) All slate shall be fastened with two large head slaters' hard copper wire nails, cut copper, cut brass or cut yellow metal slating nails to be inserted as desired of sufficient length to adequately penetrate the roof boarding. (Gauge or weight of nails should be inserted.)

(B) (In event the nailing base is other than wood, change the above paragraph to suit material used.)

HIPS

(A) All hips shall be laid to form "Fantail", "Saddle", "Mitred", "Boston", (to be inserted as desired.)

RIDGES

(A) All ridges to be laid to form "Comb", "Saddle", "Strip Saddle", (to be inserted as desired.) the nails of the combing slate shall pass through the joints of the slate below.

(B) The combing slate shall be laid with the same exposure as the next course down. (If desired, the combing slate sloping away from the direction of prevailing storms may project 1" above the combing slate on opposite side of ridge.)

VALLEYS

(A) All valleys shall be laid to form "Closed", "Open", "Round", (to be inserted as desired.)

FLASH & SHEET METAL WORK

(Specifications for flashing and sheet metal work to be inserted here if included under this specifications.)

Made in the USA since the 1700s. One of the strongest, longest lasting, most fade resistant slates on Earth.

OUR PRODUCTS

ROOFING

Buckingham Slate is a superior roofing slate due to its resistance to acids, low absorption rate, positive unflaking qualities and extraordinary product lifespan. Our slates are quarried and manufactured in the USA. It always has been and always will be.

Standard Thickness: 3/8" or 21/16"

Standard Colors:

Black (B)	1804
Dark Grey (D)	1805
Light Grey (L)	1806
White (W)	1807
Red (R)	1808
Blue (B)	1809
Green (G)	1810
Yellow (Y)	1811
Orange (O)	1812
Purple (P)	1813
Brown (Br)	1814
Gold (Gd)	1815
Silver (S)	1816
Platinum (Pt)	1817
Black (B)	1818
Dark Grey (D)	1819
Light Grey (L)	1820
White (W)	1821
Red (R)	1822
Blue (B)	1823
Green (G)	1824
Yellow (Y)	1825
Orange (O)	1826
Purple (P)	1827
Brown (Br)	1828
Gold (Gd)	1829
Silver (S)	1830
Platinum (Pt)	1831
Black (B)	1832
Dark Grey (D)	1833
Light Grey (L)	1834
White (W)	1835
Red (R)	1836
Blue (B)	1837
Green (G)	1838
Yellow (Y)	1839
Orange (O)	1840
Purple (P)	1841
Brown (Br)	1842
Gold (Gd)	1843
Silver (S)	1844
Platinum (Pt)	1845

Standard Colors: 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 1843, 1844, 1845

FLOORING

Interior and exterior random patterns or uniform tiles. Natural cleft or hand finished (sawn), gapped back. 1/4", 1/2", 3/4" and 1" thicknesses.

CUSTOM/STRUCTURAL

Stair Treads and Risers
Wall Cladding
Fireplace Hearths and Fireplace Surrounds
Wall Caps and Roof Coping
Window Sills
Countertops
Tideclips
Monument and Headstone Benches

Crushed Stone:

FLAGGING

Curry Run Flagging 1/4" or 1/2" (solid squares, square with 2 round edges)
Mega Flagging 3/4" or 1" (solid squares, square with 2 round edges)
Large Curry Run 1" or 2" (solid squares, square with 2 round edges)
Stepping Stones 12x12" or 18x18" or 24x24"

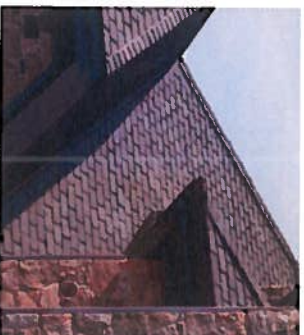
WALL STONE

Antique Wall Stone
Antique Boulders
Black and White Mini Boulders
Black Wall Stone
Brown Wall Stone
Cott Wall Stone

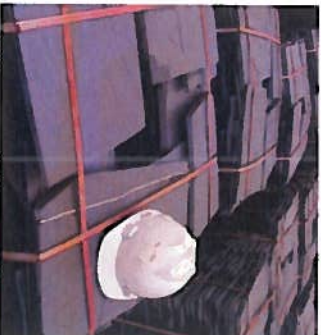
CRUSHED STONE

Dust is 2" pieces for driveways, walkways, asphalt fill, parking lots, concrete bedding, landscape ground cover, etc...

"Exceeding expectations for over 150 years"



"Buckingham Slate is a black slate with a life expectancy of about 150 years, maybe more. It can be seen on structures such as the Smithsonian Castle in Washington, D.C."



"A durable, very hard, unflaking black slate continues to be produced in Buckingham County near Arvonia, Virginia. This historically significant roofing slate has a distinct gleaming mica sheen. Slate from Buckingham County does not change color."



MORE PRODUCT PHOTOS AT BUCKINGHAMSLATE.COM



WHAT THE EXPERTS ARE SAYING

Fire protection
Highest rating for strength (ASTM C-120-13,000 psi in 3)
Less breakage and waste during installation
Insurance and loan advantages
Low maintenance
Higher resale advantages
Greater unflaking slate
Can be milled after any length of time
Highest resistance to acids (lowest average absorption of any slate in America)



WHAT MAKES BUCKINGHAM SLATE SUCH A GREAT CHOICE WHEN GOING GREEN?

Slate Roofs are Healthy Roofs

A properly installed natural slate roof is one of the healthiest roofing products around and requires just two things to install (slate and nails), unlike petroleum-based roofing materials and common roofing adhesives that can emit harmful gas and volatile organic compounds (VOCs) into the air around your home for weeks, months and even years after being installed.

+150 Year Product Lifespan

Most roofing products are not manufactured to last more than 20 years; however, Buckingham Slate roofs routinely last five times that long with minimal repair and maintenance needs. From an environmental standpoint, that is five times less roofing that is destined to end up in your local landfill. Buckingham Slate is widely considered to be one of the longest lasting products available.

Did You Know?

Thomas Jefferson specified Buckingham Slate on almost all of his building projects. Additionally, you can find Buckingham Slate on notable national buildings such as the Smithsonian Castle and Ford's Theatre in Washington, D.C.

Made in the USA

Domestic slate means minimal natural resources are consumed while shipping from quarry to jobsite.



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City of Winchester

21 South Washington Street

Tax Map Number: 192-1-N- 2-

DHR Resource Number: 138-0042-0998

Resources: 1 single dwelling; 1 garage

Date/Period: ca. 1895

Style: Romanesque Revival

Sources: Sanborn Fire Insurance Company Maps; Quarles, *The Story of One Hundred Old Homes*



Architectural Description

Site Description: This two-and-one-half story single-family dwelling is located on the west side of South Washington Street at its intersection with Wolfe Street, which runs along the property's south side. The building has a deep setback, set on a level, grassy lot marked by mature trees and shrubbery. A short metal gate runs along the front of the property at South Washington Street, separating it from the public brick sidewalk. It is broken at the center of the property by a set of ashlar stone piers that mark the front entry to the property; the piers flank a metal entry gate. A stone pathway leads from the gate and approaches the front entry. A connecting stone pathway curves southwest to a secondary entry within a porch connected to the south elevation of the building. Towards the southwest corner of the property, another stone pathway leads from the concrete public sidewalk at Wolfe Street and runs north at the rear of the property.

Secondary Resource Summary: A one-story garage is located at the northwest corner of the property, to the rear (west) of the dwelling.

Primary Resource Description: This two-and-one-half story, single-family dwelling was constructed circa 1895 in the Romanesque Revival style. Set on a solid foundation (material not visible), this masonry building is constructed of random-coursed square-cut ashlar stone. The building is composed of a two-and-one-half story, two-bay main block set under a front-gable roof, with a two-story, two-bay deep hipped-roof ell projecting from its south elevation. A two-story rounded tower with a conical roof connects the main block and the ell at the southeast corner of the dwelling. Each roof is covered in slate shingles. The front gable roof is embellished with a raking board and corbelled rafter ends. The rooflines of the tower and the ell are embellished with stone modillions. The dwelling is also marked by several porch projections: a one-story, full-width half-hipped asphalt shingle roof porch at the façade (east elevation) of the main block; a one-story, full-width half-hipped asphalt shingle roof porch at the south elevation of the ell; and a one-story, standing-seam metal shed roof porch at the rear (west) elevation of the main block. An interior end chimney rises at the south elevation of the ell, and an interior chimney pierces the north slope of the main block's gable roof; each chimney is of random-coursed ashlar and has a plain cap.

As described, the first story of the main block's façade is sheltered beneath a one-story, full-width (two-bay) porch set under a half-hipped roof. Set on a solid foundation of ashlar stone, the porch is supported by stone piers. Beneath the porch, the southernmost bay of the main building contains an entry opening to the dwelling. The entry is marked by a double-leaf wood door set in a wood surround with a semi-circular spiderweb transom and surmounted by a segmental stone arch. The second story of the main block is fenestrated with a window centered in each bay, each window 1/1, double-hung wood sash in a wood ogee surround, set on a stone sill and capped with a segmental stone arch. The upper gable end is fenestrated with a single, centered typical 1/1 window capped with a round stone arch. The north (side) elevation of the main block is marked by a small, one-story rounded bay to its east side; the bay is of the same material treatment as the main building. The remaining first and second stories of the north elevation are fenestrated with typical 1/1 windows with segmental stone arches. The rear (west) elevation of the main block is marked by a one-story, two-bay shed-roof porch as previously noted. Set on a solid stone foundation, the porch is supported by square wood posts and balusters and is enclosed with screens. The second story and upper gable end are fenestrated with typical 1/1 windows with segmental arches.

The rounded tower at the southeast corner of the dwelling is capped with a conical roof as noted. It is fenestrated at each of its four faces at both its first and second stories with typical 1/1 windows with segmental stone arches.

The projecting ell at the south elevation of the main block is capped with a hipped roof as noted. Its southernmost bay is visible to the south of the rounded tower; the first and second stories are fenestrated with typical 1/1 windows with segmental stone arches. As noted, the south elevation of the ell is marked by a one-story, half-hipped roof porch; it is identical to the porch at the front façade of the main building. The second story of the south elevation is fenestrated with typical 1/1 windows with segmental stone arches. The rear elevation of the ell projection is fenestrated with typical 1/1 windows with segmental stone arches at the first and second stories.

Secondary Resources Description: Located at the northwest corner of the property, this one-story, two-bay garage was constructed circa 1925 according to Sanborn Fire Insurance Map documentation. It is stuccoed and is capped with a pyramidal hipped roof covered in asphalt shingles.

Significance Statement: This two-and-one-half story, single-family dwelling is an excellent example of the Romanesque Revival-style applied to domestic architecture in the City of Winchester at the end of the nineteenth century. Its heavy massing, ashlar stone walls, projecting rounded tower and decorative arch surrounds are hallmarks of the Romanesque Revival style, which was popular nationwide during the last quarter of the nineteenth century. Judging by the form and materials of the dwelling, as well as by using Sanborn Fire Insurance maps, this dwelling can be given a circa 1895 date of construction. This single-family dwelling retains integrity of materials, workmanship, and design. Further, this dwelling retains integrity of location and setting. All of these aspects contribute to integrity of feeling and association. This single-family dwelling is a contributing resource to the Winchester Historic District under Criteria A and C.

CERTIFICATE #: BAR- 110-489
DATE SUBMITTED: 8/8/2014



Rouss City Hall
15 North Cameron Street
Winchester, VA 22601

Telephone: (540) 667-1815
FAX: (540) 722-3618
TDD: (540) 722-0782
Web: www.winchesterva.gov

APPLICATION
BOARD OF ARCHITECTURAL REVIEW
CERTIFICATE OF APPROPRIATENESS

Please print or type all information:	
<u>540 303 3804</u> Telephone	<u>FORT LOUDOUN PROPERTIES</u> Applicant
<u>Stan Corneal</u> E-mail address	<u>2,4,6,8 PEYTON ST.</u> Street Address
	<u>WINCHESTER VA 22601</u> City / State / Zip

<u>[Signature]</u> Property Owner's Signature	<u>FORT LOUDOUN PROPERTIES</u> Property Owner (Name as appears in Land Records)
	<u>1325 HANDLEY AVE</u> Street Address
	<u>WINCHESTER VA 22601</u> City / State / Zip

PROPERTY LOCATION

Current Street Address(es) 2,4,6,8 PEYTON ST Use: MULTI FAMILY
Zoning: _____ (HW) Year Constructed: _____ Historic Plaque? Y() N(X) Number: _____

TYPE OF REQUEST

<input type="checkbox"/> Demolition	<input type="checkbox"/> Sign (specify type) and # _____	<input type="checkbox"/> Exterior Change
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Freestanding	<input type="checkbox"/> Siding
<input type="checkbox"/> Addition	<input type="checkbox"/> Wall	<input type="checkbox"/> Roofing
<input type="checkbox"/> Fence/Wall	<input type="checkbox"/> Projecting	<input type="checkbox"/> Windows/Doors
<input type="checkbox"/> CONCEPTUAL REVIEW ONLY	<input type="checkbox"/> Other sign (specify)	<input type="checkbox"/> Paint
<input type="checkbox"/> Other (specify) <u>Garage - Revision of previously approved.</u>		

SEE REVERSE FOR MATERIALS TO INCLUDE WITH APPLICATION

FOR OFFICE USE ONLY

☐ BAR Review OR ☐ Administrative Review per Section 14-5

Hearing Date(s) _____

CERTIFICATE OF APPROPRIATENESS: ☐ APPROVED ☐ DISAPPROVED ☐ TABLED ☐ WITHDRAWN

CONDITIONS NOTED: _____

SIGNATURE: _____ DATE: _____

Secretary, Board of Architectural Review



CERTIFICATE #: BAR- 110-461
DATE SUBMITTED: 7/25/16



Rouss City Hall
15 North Cameron Street
Winchester, VA 22601

Telephone: (540) 667-1815
FAX: (540) 722-3618
TDD: (540) 722-0782
Web: www.winchesterva.gov

**APPLICATION
BOARD OF ARCHITECTURAL REVIEW
CERTIFICATE OF APPROPRIATENESS**

Please print or type all information:	
<u>908-902-9110</u> Telephone	<u>Shentel c/o Justin Blanset</u> Applicant
<u>jblanset@nbccllc.com</u> E-mail address	<u>6095 Marshalee Drive Suite 300</u> Street Address
	<u>Elkridge, MD 21075</u> City / State / Zip

<u>see enclosed lease</u> Property Owner's Signature	<u>City of Winchester</u> Property Owner (Name as appears in Land Records)
	<u>15 N Cameron St</u> Street Address
	<u>Winchester, VA 22601</u> City / State / Zip

PROPERTY LOCATION

Current Street Address(es) 119 N Loudoun St Use: telecom
Zoning: B1 (HW) Year Constructed: unknown Historic Plaque? Y ☐ N ☒ Number: _____

TYPE OF REQUEST

<input type="checkbox"/> Demolition	<input type="checkbox"/> Sign (specify type) and # _____	<input checked="" type="checkbox"/> Exterior Change
<input type="checkbox"/> New Construction	<input type="checkbox"/> Freestanding	<input type="checkbox"/> Siding
<input type="checkbox"/> Addition	<input type="checkbox"/> Wall	<input type="checkbox"/> Roofing
<input type="checkbox"/> Fence/Wall	<input type="checkbox"/> Projecting	<input type="checkbox"/> Windows/Doors
<input type="checkbox"/> CONCEPTUAL REVIEW ONLY	<input type="checkbox"/> Other sign (specify)	<input type="checkbox"/> Paint
<input checked="" type="checkbox"/> Other (specify) modify existing telecom equipment, per plans		

*****SEE REVERSE FOR MATERIALS TO INCLUDE WITH APPLICATION*****

FOR OFFICE USE ONLY

☐ BAR Review OR ☒ Administrative Review per Section 14-5

Hearing Date(s) _____

CERTIFICATE OF APPROPRIATENESS: ☐ APPROVED ☐ DISAPPROVED ☐ TABLED ☐ WITHDRAWN

CONDITIONS NOTED: _____

SIGNATURE: _____ DATE: _____

Secretary, Board of Architectural Review

Josh Crump
City of Winchester
15 N. Cameron St
Winchester, Virginia 22601

Re: Shenandoah Personal Communications Company

Site: #13731 / "Winchester DT"
119 N. Loudoun Street
Winchester, VA 22602
Map Number 173-01-F-26

Mr. Crump,

Please accept the enclosed application and materials on behalf of Shenandoah Personal Communications, LLC ("Shentel"). Shentel is a wireless telecommunications service provider that operates networks in affiliation with the Sprint Corporation.

Shentel is proposing install three six antennas at its existing mount height on the existing rooftop facility at the location referenced above. Shentel also proposes the installation of ancillary equipment inside its facility. Included in this modification is the removal of existing radio units and distribution boxes from Shentel's fenced compound on the group and their relocation to the existing rooftop.

The proposed antennas will be flush mounted with the top of the existing building. The antennas are covered by a paintable polymer casing, which will be painted to match the existing building color, the same as Shentel's existing antennas at the site. This will minimize their impact on the façade of the building. The radio heads will be behind the existing three- to four-foot parapet wall that encloses the building rooftop and will be mounted as low as possible so as to eliminate their visibility from street level to the maximum extent.

Please direct all correspondence in this matter to Shentel's Agent, as follows:

Attention: Justin David Blanset
Network Building + Consulting
6095 Marshalee Drive, Suite 300
Elkridge, MD 21075

jblanset@nbcllc.com
908.902.9110

If you have any questions about this matter, or need any further information, please feel free to contact me.

Regards,



Justin David Blanset
Agent for Shentel

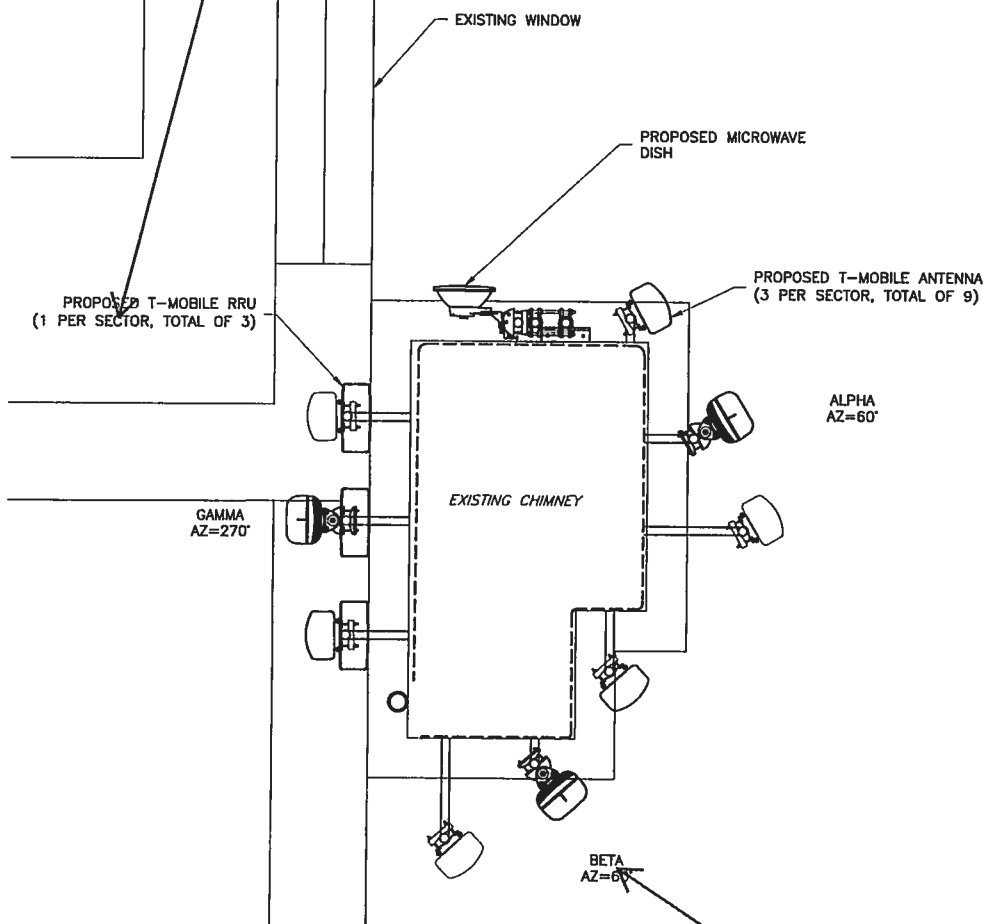
jblanset@nbcllc.com
908.902.9110

Enclosures:

- Application for Board of Architectural Review Certificate of Appropriateness
- Construction drawings
- Lease establishing site permission
- Photographs of existing site conditions as visible from ground level



Need to include the future RRUs. 2 per sector, total of 6



Beta azimuth is 140 not 60.

1
LE-4
TOP OF SMOKESTACK
SCALE: 1/4" = 1'

NB+C
TOTALLY COMMITTED.

NB+C ENGINEERING SERVICES, LLC.
8005 MARSHALLEE DRIVE, SUITE 300
ELK RIDGE, MD 21075
(410) 712-7062

T-Mobile

T-MOBILE NORTHEAST LLC

12050 BALTIMORE AVENUE
BELTSVILLE, MD 20705
OFFICE: (240) 264-8600
FAX: (240) 264-8610

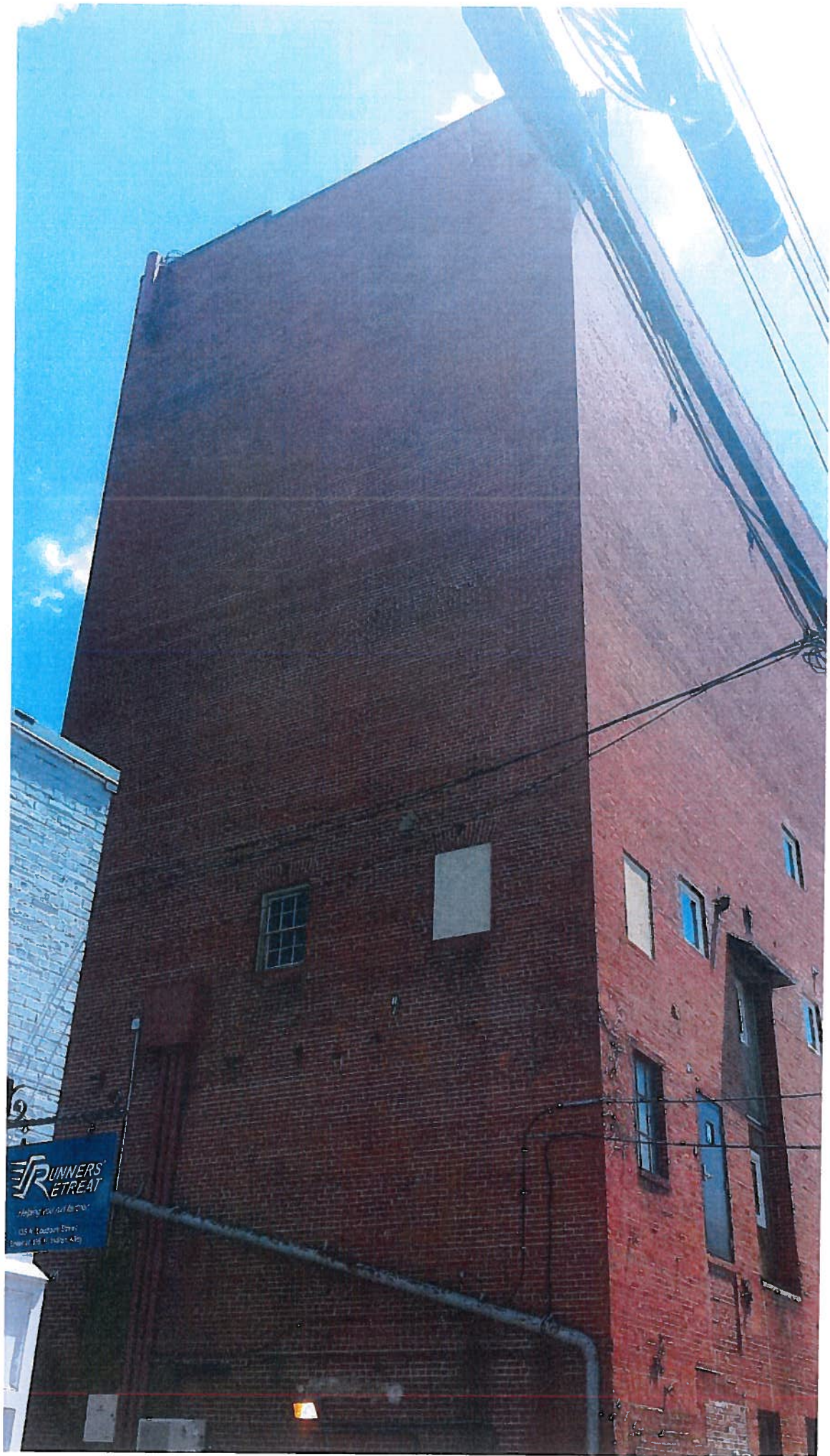
7WAS565A
820 UNIVERSITY BLVD EAST
SILVER SPRING, MD 20903

SUBMITTALS

A	06/20/16
B	06/30/16
C	07/11/16

SHEET 4 OF 4





RUNNERS' RETREAT
Helping you run better
100 N. 10th Street
Columbus, OH 43201-4301



City of Winchester

119-127 North Loudoun Street

Tax Map Number: 173-1-F-26-

DHR Resource Number: 138-0042-0701

Resources: 1 commercial building

Date/Period: ca. 1846

Style: Federal (altered)

Sources: Sanborn Fire Insurance Company Maps



Architectural Description

Site Description: This three-and-one-half story hotel is located on the west side of North Loudoun Street and directly fronts the brick sidewalk of the pedestrian mall. An enclosed plywood fence surrounds the front (east) side of the property at the pedestrian mall. A narrow, concrete pedestrian alley runs adjacent to the south elevation of the building. North Indian Alley forms the westernmost boundary of the property.

Secondary Resource Summary: There are no visible secondary resources associated with this property.

Primary Resource Description: This three-and-one-half story, six-bay building was constructed in 1846. Set on a solid foundation (material not visible), this masonry brick building (coursing not visible) is stuccoed at the façade (east elevation). The building is capped with a shallow, side gable roof (material not visible) that is accented by an overhanging wood cornice with copper gutters. A narrow brick parapet wall marks the north and south ends of the roof. A pair of brick parapet chimneys with plain caps rise at the south end, and a pair of crow-stepped brick parapet chimneys with plain caps rise at the north end. The façade (east elevation) of the building is currently shielded at its first story by a tall plywood security fence; the first story is not visible as a result. Sanborn Fire Insurance maps show that a tiered, full-width porch once marked the façade; its presence is now suggested by exposed rafter ends that project over the first story. The second and third stories are fenestrated with a window centered in each bay; each window is 6/6, double-hung wood sash set in a square-edged wood surround. The south (side) elevation is fenestrated with 2/2, double-hung wood sash windows with metal-clad wood sills, surmounted by flat soldier brick arches. At the visible portion of the rear (west) elevation, multiple large window openings have been closed over with brick.

A long, two-story addition extends from the rear (west) elevation of the main building. Its material and architectural details are not visible from the public right-of-way. A six-story addition is attached to the rear elevation of the shorter, two-story addition. This addition first appears on Sanborn Fire Insurance maps in 1921 as a five-story addition, and was expanded to six stories by the publication of the 1927 Sanborn map. It is capped with a flat roof (material not visible) and is constructed of six-course American-bond brick set on a solid foundation (material not visible). Its rear elevation is fenestrated with four-light wood casement windows. A single-leaf flush metal door marks the first story, and a double vertical flush metal door capped with a pent hood marks the second story. Two 6/1, double hung wood sash windows mark the north (side) elevation of the tall addition. Multiple windows on each side of the addition have been closed over with brick or plywood.

A one-story, one-bay addition extends from the south (side) elevation of the building; it runs the full depth of the building, including the main block, two-story addition, and six-story addition. Set on a solid, parged foundation, the concrete block addition is faced with five-course American-bond brick and is capped with a flat roof (material not visible from the public right-of-way). The façade of this addition has also been enclosed by a plywood security fence and is not visible. Exposed rafter ends mark its cornice line at the façade. Its south elevation is not fenestrated, but is marked by a "Paintin' the Town" mural, painted in 1997. The southwest corner of the addition holds a canted entry, marked by a single-leaf metal and glass door with sidelights. A paired, four-light wood casement window marks its west elevation.

Significance Statement: Historically known as the "Taylor Hotel" or the "Taylor House" after its original owner, Bushrod Taylor, this two-and-one-half story is an excellent example of a commercial building designed in the Federal style in the City of Winchester. Judging by its form and materials, this building can be given a circa 1846 date of construction, which is supported by written documentation. The building was erected on the site of the McGuire Hotel, which was destroyed by fire. Confederate Gen. Thomas J. "Stonewall" Jackson had temporary quarters in the hotel in 1861 — a fact later depicted in the movie "Gods and Generals" — and it was the place where Turner Ashby received his commission as a Confederate brigadier general. Throughout the late nineteenth century and into the mid-twentieth century, the building was altered numerous times to serve its functions first as a hotel, and later as a theatre. The Colonial Theatre operated on the second floor of the Taylor Hotel from 1923 to 1939, and most of the old movie theater — balcony and all — remains deep inside the structure. The theater shared the building with McCrory's discount variety store for many years. McCrory's opened in 1918 and closed in 1993. CFW Communications purchased the Taylor in 1998. Most recently, the big blue building housed the Telegate USA telephone information center, which closed in 2002.

The property is located at the historic downtown core of the Winchester and remains highly visible to tourists, visitors, citizens, and the surrounding commercial businesses. The large facade along North Loudoun Street has become part of the historic streetscape. Public sentiment and preservationists have argued that the loss of the complete structure from its current site would be detrimental to the historic downtown area. Although the building currently exhibits deteriorated conditions but has been stabilized, it continues to retain its integrity of materials, workmanship, and design. Further, this building retains integrity of location and setting. All of these aspects contribute to integrity of feeling and association. This hotel is a contributing resource to the Winchester Historic District under Criteria A, B, and C.